

## SECTION 13: GLOSSARY

The Glossary is intended to assist the user in interpreting the Historic Design Guidelines, definitions found within Chapter 23 of the Miami City Code and the Miami 21 Zoning Code can act as a supplemental resource for further definitions.

**Accelerated Certificate of Appropriateness.** A review of proposed physical changes to a historic resource that is conducted by the HEPB concurrently with a request for historic designation.

**Adaptive use.** Rehabilitation or renovation of existing Building(s) for any Use(s) other than the present Use.

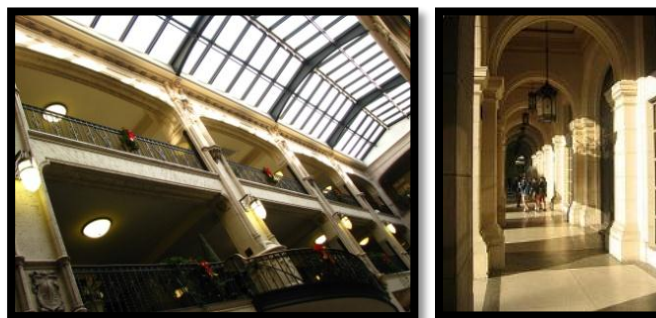
**Addition.** A construction project physically connected to the exterior of a building.

**Alteration.** Any change affecting the exterior appearance of a structure or its setting by additions, reconstruction, remodeling, or maintenance involving change in color, form, texture, signs, or materials, or any such changes in appearance of designated interiors.

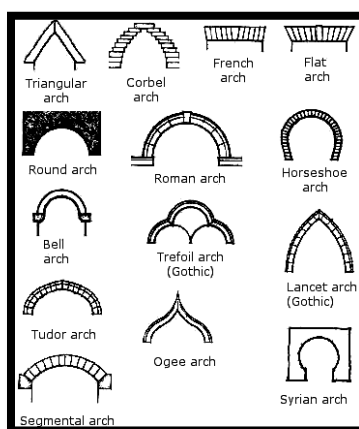
**Applicant.** The owner of record of a property and/or structure(s) located thereon, or their authorized representative.

**Application, Complete.** An application for approval sought pursuant to Chapter 23 shall be deemed complete if it is on a form approved by the city and all applicable information is provided by the applicant on the form, or attachment(s), as applicable or necessary, at the time of its filing and all required fees are paid.

**Arcade.** A covered pedestrian way within a building or along the side of a Building at the first floor, which may provide access to shops along one or more sides.



**Arch.** A curved construction which spans an opening; usually consists of wedge-shaped blocks called voussoirs, or a curved or pointed structural member which is supported at the sides or ends. Arches vary in shape from the horizontal flat arch through semicircular and semielliptical arches to bluntly or acutely pointed arches.



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**Architectural Style.** Characterized by the features that make a building or other structure notable and historically identifiable. A style may include such elements as form, method of construction, building materials, and regional character. See Section 2: Architectural Style of the Historic Design Guidelines for further information on architectural styles found in the City of Miami.

**Awning.** A movable roof-like Structure, cantilevered or otherwise entirely supported from a Building, used to shade or screen windows or doors.

**Balcony.** An unenclosed habitable Structure cantilevered from a Façade or Building Elevation.



**Balustrade.** An entire railing system (as along the edge of a balcony) including a top rail and its balusters, and sometimes a bottom rail.



**Beam.** A structural member whose prime function is to carry transverse loads, as a joist, girder, rafter, or purlin.



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**Canopy.** A covered area that extends from the wall of a building, protecting an entrance or loading dock; a decorative hood above a niche, pulpit, choir stall, or the like.



**Casement Window.** A window sash that is hinged on one side and swings open along its entire length. (See Section 3.1: Windows and Doors)

**Channel Letters.** Custom made metal or plastic letters mounted to the face of a building for exterior signage. (See Section 5: Sign Design Standards)

**Certificate of appropriateness.** A written document, issued pursuant to this article, permitting specified alterations, demolitions, or other work; or to allow certain waivers from the criteria set forth in the zoning ordinance and Chapter 23.

**Certified Local Government.** A government satisfying the requirements of the U.S. National Historic Preservation Act amendments of 1980 (Public Law 96-515) and the implementing of applicable regulations of the department of the interior and the state.

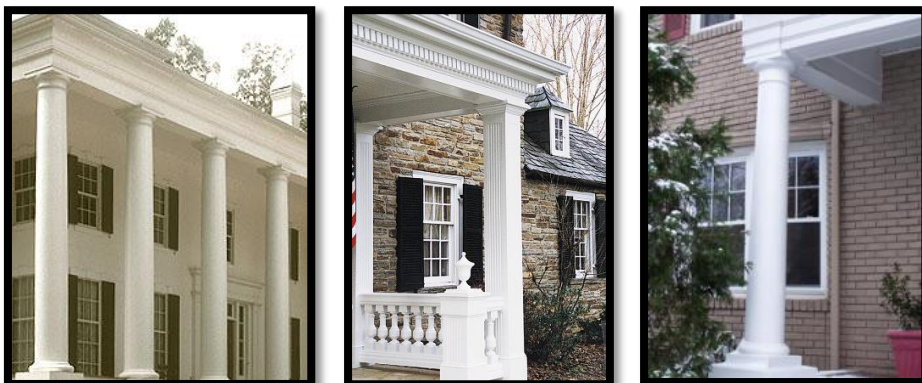
**Clapboard.** A wood siding commonly used as an exterior covering on a building of frame construction; applied horizontally and overlapped, with the grain running lengthwise; thicker along the lower edge than along the upper.





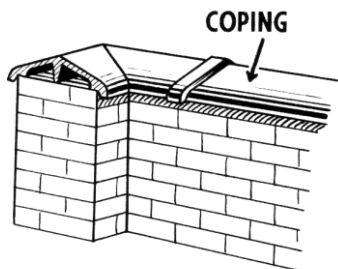
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**Column.** In structures, a relatively long slender structural compression member such as a post, pillar, or strut; usually vertical, supporting a load which acts in (or near) the direction of its longitudinal axis. In classical architecture, a cylindrical support consisting of a base (except in Greek Doric), shaft, and capital; either monolithic or built up of drums the full diameter of the shaft.



**Contributing Resource/Landscape Feature.** A building, landscape feature, site, structure or object that adds to the historical/architectural qualities, historic associations, or archaeological values for which a district is significant because: it was present during the period of significance of the district and possesses historic integrity, reflecting its character at that time; or it is capable of providing important information about the period; or it independently meets the National Register of Historic Places criteria for evaluation set forth in 36 CFR Part 60.4 incorporated by reference.

**Coping.** The protective uppermost course of a wall or parapet.



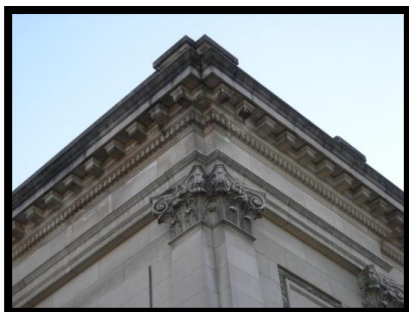
**Corbel.** In masonry, a projection or one of a series of projections, each stepped progressively farther forward in height; anchored in a wall, story, column, or chimney; used to support an overhanging member above or, if continuous, to support an ornament of similar appearance. Also, a projecting stone which supports a superincumbent weight.



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**Cornice.** Any molded projection which crowns or finishes the part to which it is affixed; the third or uppermost division of an entablature, resting on the frieze; an ornamental molding, usually of wood or plaster, running round the walls of a room just below the ceiling; a crown molding forming the top member of a door or window frame; or the exterior trim of a structure at the meeting of the roof and wall, usually consists of bed molding, soffit, fascia, and crown molding.



**Demolition.** The complete destruction of a structure, or any part thereof.

**Demolition by neglect.** The deliberate or inadvertent failure to maintain minimum maintenance standards for those properties designated historic either individually or as a contributing property within a historic district by action of the Historic and Environmental Preservation Board.

**Dormer.** A structure projecting from a sloping roof usually housing a window or ventilating louver.



**Double-Hung Window.** Two sashes that can be raised and lowered vertically. (See Section 3.1: Windows and Doors)

**Eaves.** The lower edges of a roof that project beyond the building wall.

**Eligible Historic Resource.** A term used to describe archaeological sites and individual buildings, which have not yet been locally designated under the provisions under Chapter 23 but have met the eligibility criteria and been certified by the Historic and Environmental Preservation Board as having met that criteria; so that they may take advantage of the transfer of development rights program, providing that their owners commit to the official local designation within a period of one year from the board's approval of the determination of eligibility.

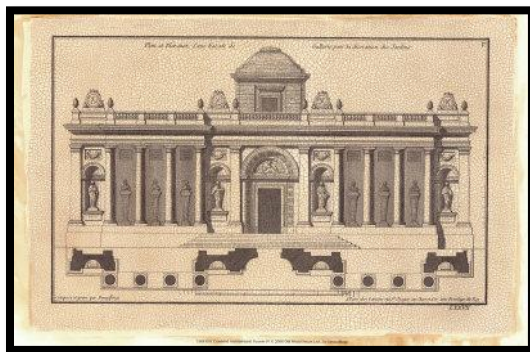
**Existing Conditions Report.** A report prepared by a registered architect or engineer that describes the current general condition of an eligible historic resource that is applying for a certificate of transfer.

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**Fabric.** The basic elements making up a building; the walls, floor, and roof of a building.

**Façade.** The exterior wall of a Building that is set along a frontage line, sometimes distinguished from the other faces by elaboration of architectural or ornamental details.



**Fenestration.** An opening in a surface.

**Gabled Roof.** A roof having a single slope on each side of a central ridge; usually with a gable at one or at both ends of the roof. (See Section 3.2: Roofs)

**Gambrel Roof.** A roof having a double slope on two sides of a building. The most common example is a barn roof. (See Section 3.2: Roofs)

**Gazebo.** A roofed structure that offers an open view of the surrounding area, typically used for relaxation or entertainment.



**Grille.** A grating or openwork barrier, usually of metal but sometimes of wood or stone; used to cover, conceal, decorate, or protect an opening, as in a wall, floor, or outdoor paving.





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**Hipped Roof.** A roof having adjacent flat surfaces that slope upward from all sides of the perimeter of the building. (See Section 3.2: Roofs)

**Historic district.** A geographically defined area possessing a significant concentration, linkage, or continuity of sites or structures united historically or aesthetically by plan or physical development.

**Historic resource.** An overarching term used to describe the various categories of properties that have demonstrated significance in the history of the City, the county, the state and/or the nation. These properties include landscape features, archaeological sites and zones, structures, buildings, districts, and objects.

**Historic sign.** A sign that has demonstrated artistic, historic, cultural, and/or aesthetic value to the City of Miami, as determined by resolution of the HEPB. (See Section 5: Sign Design Standards)

**Historic site.** The location of a significant event, a prehistoric or historic occupation or activity, or a vanished structure, where the location itself possesses historic, cultural, archaeological, or pale ontological value.

**Impervious.** Roads, parking areas, buildings, pools, patios, sheds, driveways, private sidewalks, and other impermeable construction covering the natural land surface.

**Infill.** A development project within existing urban fabric, on a vacant site within a build-up area.

**In-kind Replacement.** To replace a feature of a building with materials of the same characteristics, such as material, texture, type, or color.

**Integrity.** Condition or description of a property that is physically unaltered or one that retains enough of its historic character, appearance, or ambiance to be recognizable to the period when the property achieved significance.

**Jalousie Window.** A window comprised of angled glass, acrylic, or wooden louvers set in a frame horizontally. (See Section 3.1: Windows and Doors)

**Locally designated historic resource.** Any archaeological site or zone; individual building; structure, object, landscape feature, or historic district that has been approved for designation by the City's HEPB, as prescribed by the provisions of Chapter 23, and shown in the historic and environmental preservation atlas.

**Lintel.** The piece of timber, stone, or metal that spans above an opening and supports the weight of the wall above it.

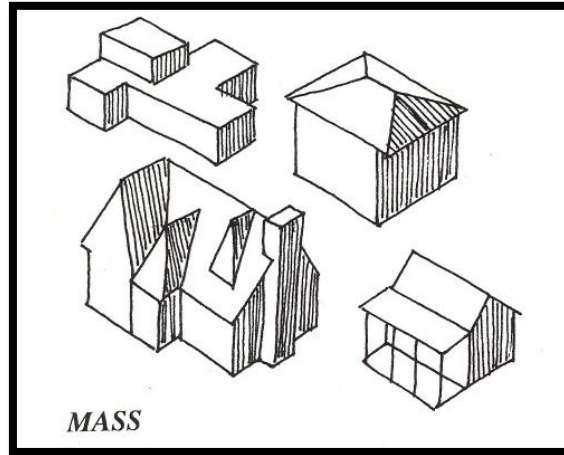
**Lites.** Window panes. (See Section 3.1: Windows and Doors)

**Maintenance plan.** A written document submitted by the owner of an eligible historic resource for the Transfer of Development Rights program, that identifies any existing deficiencies in the building along with a remediation plan for the short term, and which further identifies a plan for the cyclical maintenance of the building for the long term.

**Mansard Roof.** A roof having two slopes on all four sides; the lower slope is much steeper than the upper. (See Section 3.2: Roofs)

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**Mass.** The three dimensional character of a building that create its size, shape, and proportion.

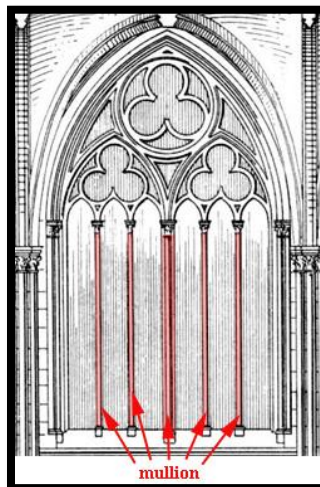


**Miami Register of Historic Places.** The list of locally designated historic resources that have met the criteria for significance and that have been designated by the HEPB, pursuant to the provisions of Chapter 23

**Motif.** A principal repeated element in an ornamental design.



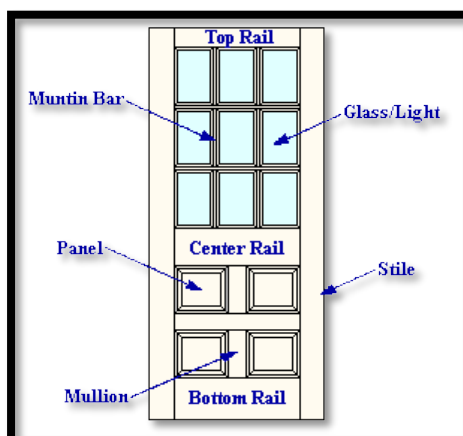
**Mullion.** A vertical member separating (and often supporting) window, doors, or panels set in series.





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**Muntin.** A secondary framing member to hold panes within a window, window wall, or glazed door; an intermediate vertical member that divides the panels of a door.



**National Register of Historic Places.** The list of historic properties significant in American history, architecture, archaeology, engineering, and culture, maintained by the Secretary of the Interior, as established by the National Historic Preservation Act of 1966, as amended.

**Niche.** A recess in a wall, usually to contain sculpture or an urn; often semicircular in plan, surmounted by a half dome.

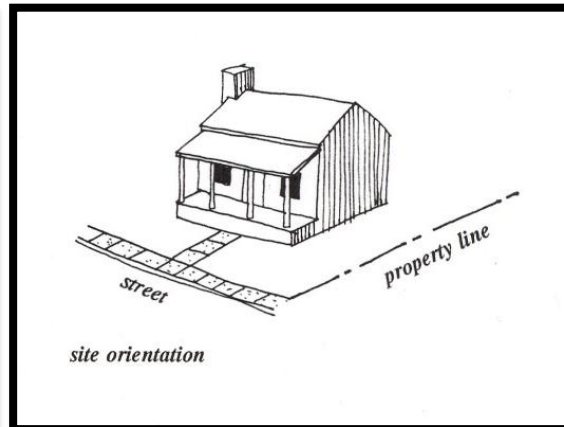
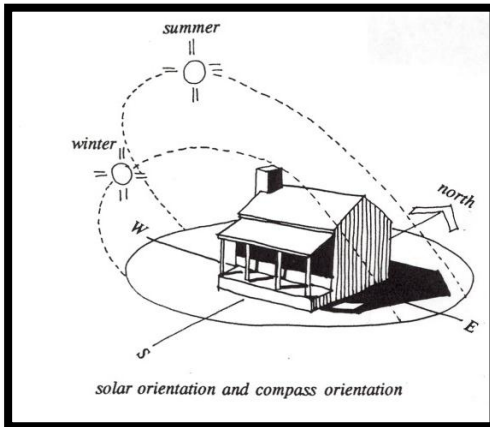


**Non-contributing resource.** A building, landscape feature, object, structure, or archaeological resource that does not add to the historic architectural qualities, historic associations, or archaeological values for which a district is significant because it was not present during the period of significance of the district; due to alterations, disturbances, additions, or other changes, it no longer possesses historic integrity reflecting its character at that time or is incapable of yielding important information about the period; or does not independently meet the national register of historic places criteria for evaluation.

**Ordinary maintenance or repair.** Any work, the purpose and effect of which is to correct any deterioration or decay of a structure or landscape feature, or any part thereof, by restoring it, as nearly as may be practicable, to its condition prior to such deterioration or decay, using the same materials or those materials available which are as close as possible to the original.

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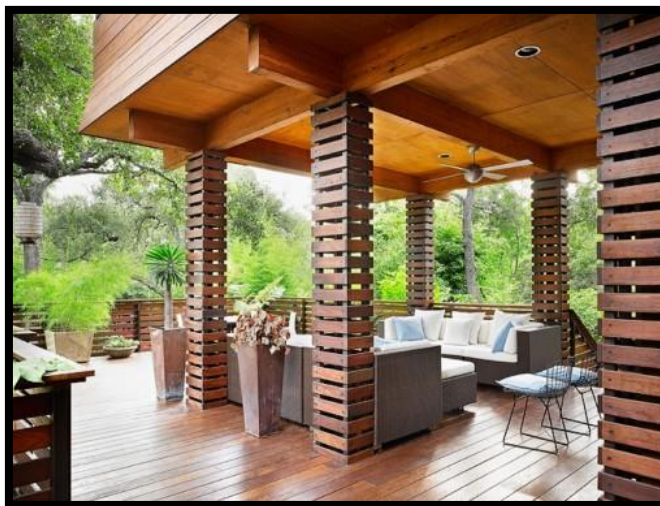
**Orientation.** The placement of a building or structure on a site as it relates to the physical conditions of this site, such as geography and manmade features, or compass direction.



**Ornament.** In architecture, every detail of shape, texture, and color that deliberately exploited or added to attract an observer.



**Overhang.** The projection of an upper story or roof beyond a story immediately below.



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**Panel.** A portion of a flat surface recessed or sunk below the surrounding area, distinctly set off by molding or some other decorative device.



**Parapet.** A low guarding wall at any point of sudden drop, as at the edge of a terrace, roof, battlement, balcony, etc.; a defense wall; in an exterior wall, the part entirely above the roof.



**Pattern.** An arrangement of form, the disposition of parts or elements.





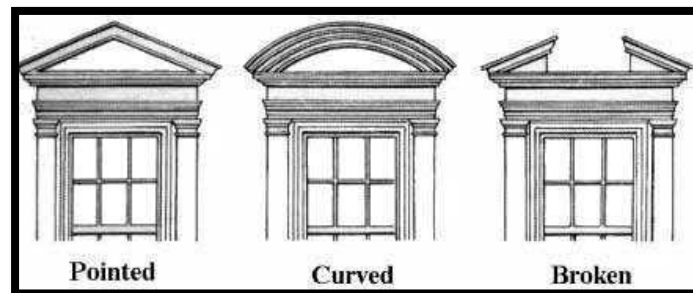
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**Pavillion.** A detached or semidetached structure used for entertainment or (as at a hospital) for specialized activities; on a façade, a prominent portion usually central or terminal, identified by projection, height, and special roof forms; in a garden or fairground, a temporary structure or tent, usually ornamented.



**Pedestrian Orientation.** The characteristics of an area where the location and access to buildings, types of uses permitted on the street level, and storefront design relate to the needs of persons traveling on foot.

**Pediment.** In classical architecture, the triangular gable end of the roof above the horizontal cornice often filled with sculpture. Also called *fronton* when used to crown a subordinate feature, as window; in later work, a surface used ornamentally over doors or windows, usually triangular but may be curved.



**Pergola.** A garden structure with an open wooden-framed roof, often latticed, supported by regularly spaced posts or columns; The structure, often covered by climbing plants such as vines or roses, shades a walk or passageway; a colonnade which has such a structure.



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**Pervious Pavement System.** A porous surface system with a stabilized base that allows water from precipitation and other sources to pass directly through, thereby reducing the runoff from a site, allowing groundwater recharge, and naturally cooling the surface through evaporation of water from pavement voids or from beneath.

**Pier.** A column designed to support concentrated load; a member, usually in the form of a thickened section, which forms an integral part of a wall, usually placed at intervals along the wall to provide lateral support or take concentrated vertical loads.



**Pilaster.** An engaged pier or pillar, often with capital and base; decorative features that imitate engaged piers but are not supporting structures, such as a rectangular or semicircular member used as a simulated pillar in entrances and other door openings and fireplace mantels. A pilaster often contains a base, shaft, and capital and may be constructed as a projection of the wall itself.



**Porch.** A structure attached to a building to shelter an entrance or to serve as a semi-enclosed space, usually roofed and generally open-sided.



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**Porte-Cochère.** A roofed structure attached to a building and extending over a driveway, allowing vehicles to pass through.

**Preservation.** The act or process of applying measures to sustain the existing form, integrity, and material of a building or structure. It may include initial stabilization work as well as ongoing maintenance of the historic building.

**Public Right-of-Way.** An area or strip of land, publicly or privately owned and which is occupied or intended to be occupied by a street, walkway, railroad, utility line, drainage channel, or other similar uses.

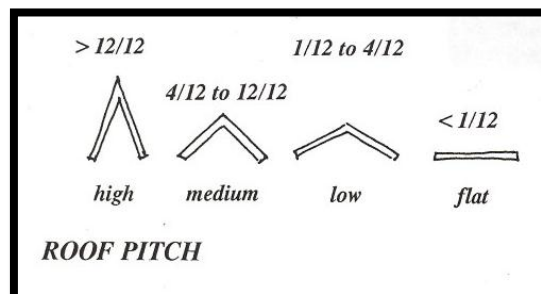
**Reconstruction.** The act or process of reproducing by new construction the exact form and detail of a vanished structure as it appeared at a specific period of time.

**Rehabilitation.** The act or process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural, and cultural values.

**Relocation.** Any change of the location of a structure from its original setting or to another setting.

**Restoration.** The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of earlier work of the property which is missing.

**Roof Pitch.** The steepness of the roof plane horizontal. The slope of a roof is expressed as a ratio of the rise of the roof over the horizontal span. A 4/12 roof rises 4' in a 12' span.



**Rusticated.** Sawed or cut stone having strongly emphasized recessed joints and smooth or roughly textured block faces, used to create an appearance of impregnability in banks, palaces, courthouses, etc. The border of each block may be rebated, chamfered, or beveled on all four sides, at top and bottom only, or on two adjacent sides; the face of the brick may be flat, pitched, or diamond-point, and if smooth may be hand- or machine-tooled.





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**Sash.** Any framework of a window may be movable or fixed, may slide in a vertical plane (as in a double-hung window) or may be pivoted (as in a casement window).



**Shed Roof.** A roof containing only one sloping plane. (See Section 3.2: Roofs)

**Shingle.** A roofing unit of wood, asphaltic material, slate, tile, concrete, asbestos cement, or other material cut to stock lengths, widths, and thickness, used as an exterior covering on sloping roofs and side walls; applied in an overlapping fashion.



**Side-Gabled Roof.** A gable whose face is on one side (or part of one side) of a house, perpendicular to the façade. (See Section 3.2: Roofs)

**Sign.** Any identification, description, illustration, or device, illuminated or non-illuminated, that is visible from a public right-of-way or is located on private property and visible to the public and which directs attention to a product, place, activity, person, institution, business, message or solicitation, including any permanently installed or situated merchandise. For additional information and sign definitions, see Miami 21, Article 1, Section 1.3 and Section 5: Sign Design Standards.

**Sill.** Horizontal member at the bottom of a window or door opening.

**Structure.** Anything constructed or erected, the use of which requires a fixed location on the ground or attachment to something having a fixed location on the ground.

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**Terrace.** An embankment with level top, often paved, planted, and adorned for leisure use; a flat roof or a raised space or platform adjoining a building, paved or planted.



**Unreasonable or undue economic hardship.** An onerous and excessive financial burden that destroys reasonable and beneficial use of property and that would amount to the taking of property without just compensation, or failure to achieve a reasonable economic return in the case of income-producing properties.

**Visibility.** The ability to see elements of the façade from the right-of-way. Preservation staff determines the adequacy of visibility and has the ability to enforce the Historic Design Guidelines on all facades.